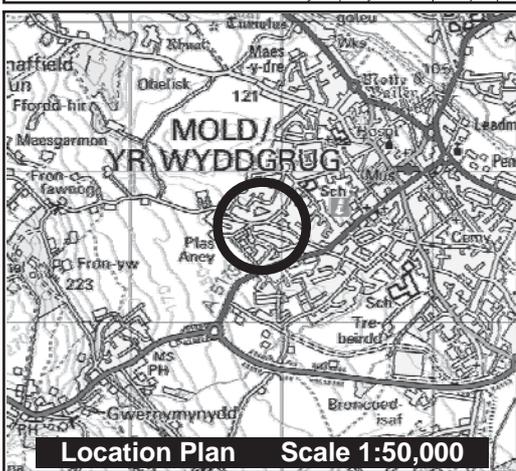


MOLD

Application Site



Location Plan Scale 1:50,000



Planning, Environment & Economy,
 Flintshire County Council, County Hall,
 Mold, Flintshire, CH7 6NF.
 Chief Officer: Mr Andrew Farrow

Legend

-  Planning Application Site
-  Adopted Flintshire Unitary Development Plan Settlement Boundary

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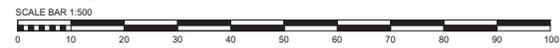
Map Scale	1:2500
OS Map ref	SJ 2263
Planning Application	61154



Rev No.	Date	Rev.	By	Chk.

PLANNING				
Scale	Date	Drawn by	Chk.	
1:1250@A1	23.07.19	JS	BE	
base ARCHITECTS				
Project Title: PLAS ANEY, MOLD				
Client: GOWER HOMES LTD.				
Drawing Title: LOCATION PLAN				
Project No.	Drawing No.	Revision.		
BA2090	PL-001	-		

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Rev No.	Date	Rev.	By	Chk.

PLANNING					
Scale:	1:500@A1	Date:	23.07.19	Chk.:	BE



Project Title:		PLAS ANEY, MOLD			
Client:		GOWER HOMES LTD.			
Drawing Title:		EXISTING SITE PLAN			
Project No.:	BA2090	Drawing No.:	PL-002	Revision:	-



Accommodation Schedule

Affordable Housing Schedule

* Denoted by asterisk		
Perthryn (245sqft) 1 Bed (8 no.)	Kendal (804sqft) 2 bed (8 no.)	Denbigh, Holt (803sqft) 3 Bed (3 no.)
Ewloe (803sqft-900sqft) 2 bed (6 no.)	Flint (947sqft) 3 bed (4 no.)	Crocoth (1101sqft) 3 bed (3 no.)
Cornerstone Supported Living (549sqft) (6 no.)		

Total: 36 units (40%)

Open Market Schedule

Beumaris (1035sqft) 3 bed (8 no.)	Conry (1095sqft) 4 bed (8 no.)	Chirk Hybrid (1435sqft) 4 bed (3 no.)
Conry (1095sqft) 4 bed (8 no.)	Rhuddlan (1217sqft) 4 bed (11 no.)	Powis (1055sqft) 4 bed (5 no.)
Hartech (1335sqft) 4 bed (8 no.)	Hawarden (913sqft) 3 bed (4 no.)	Caernarfon (1,800sqft) 4 bed (4 no.)
Denbigh, Holt (803sqft) 3 bed 17 no. - Plot 68		Montgomery (2,010sqft) 4 bed (3 no.)

Total: 54 units (60%)

Overall Total: 90 units

- Site Boundary = 4.31ha (10.65 acres)
- Development Density = 21no. units/ha
- Pedestrian link to existing houses
- Public Open Space 6600sqft (6132m²)
- Required POS (Calculated at 56.65m²/unit) = 54879.8sqft (5088.5m²)
- Proposed Landscape Buffer to adjacent land parcel

Rev No.	Date	Rev.	By	Chk.
G	23.03.20	ALL INSTANCES OF CHIRK REPLACED WITH CHIRK HYBRID (REVISED) ACCOMMODATION SCHEDULE REVISED TO SHOW 1 NO. OPEN MARKET DENBIGH HOLT	JS	AO
F	28.01.20	UPDATED DISTRIBUTION OF PLOTS 47-56, AMENDED SIZES OF UNIT TYPES IN LINE WITH OUR REQUIREMENTS, UPDATED DETAIL OF PROPOSED AFFORDABLE UNITS	JS	AO
E	21.01.20	UPDATED ACCOMMODATION SCHEDULE WITH AMENDED AFFORDABLE MIX, AMENDED POS REQUIREMENT IN LINE WITH NEW UNITS.	JS	AO

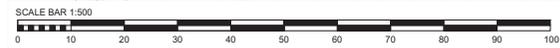
PLANNING

Scale	Date	Drawn by	Chk.
1:500@A1	23.07.19	JS	BE



Project Title:	LAND AT MOLD		
Client:	GOWER HOMES LTD.		
Drawing Title:	INDICATIVE SITE LAYOUT PLAN		
Project No.	BA2090	Drawing No.	PL-003
		Revision:	G

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KEY

-  Existing trees and hedges to be retained and protected (refer to arborists report & recommendations)
-  Existing tree and hedge Root Protection Areas (refer to arborists report & recommendations)
-  Proposed Extra Heavy Standard tree planting
-  Proposed informal feathered tree groups
-  Proposed medium / tall hedge and structure planting
-  Proposed medium / low amenity shrub planting
-  Proposed amenity grass areas

revision v1.2 - layout updated (02/2020)
 revision v1.1 - arborists approach (02/2019)

	The Ark Company Landscape Architects <small>9 The Highway, Haverhill, Peterborough, Cambs, CB3 0JQ, Tel: 01244 959318 www.thearkcompany.co.uk theark@thearkcompany.co.uk</small>
	Gower Homes Ltd. Land off Ruthin Road - Mold
Proposed residential development Proposed landscape layout	
Dwg.No. 09/101/01	v1.2 A1 @ 1/500 July 2019



CHIRK HYBRID HOUSE TYPE
 4 bedroom detached dwelling
 GIA = 133sqm / 1430sqft



Rev No.	Date	Rev.	By.	Chk.
A	23.03.20	Garage relocated. Doors removed from Kitchen and window added.	BGE	JW

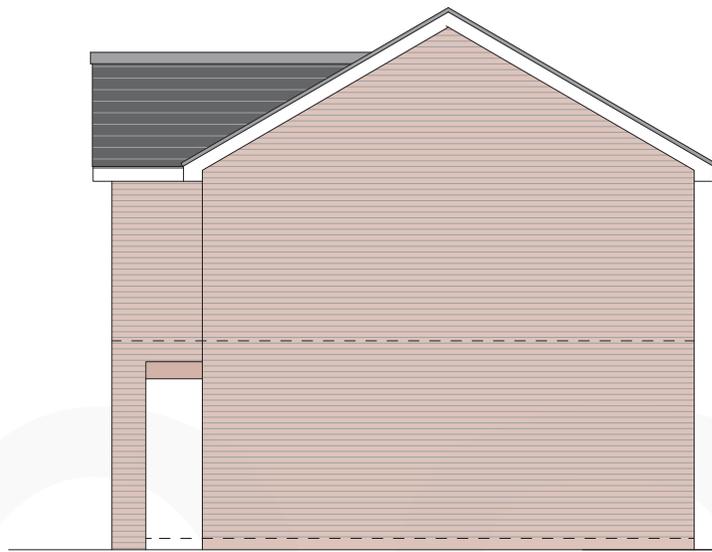
PLANNING

Scale:	1:50 @ A1	Date:	Jul 2019	Drawn by:	JS	Chk.	AO
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Project Title:			Plas Aney, Mold		
Client:			Gower Homes		
Drawing Title:			Chirk Hybrid Proposed Elevations		
Project No.	BA2090	Drawing No.	PL-023	Revision:	A

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Side Elevation



Front Elevation

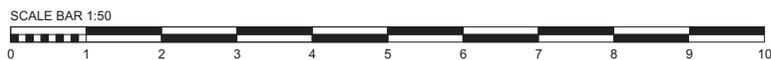


Rear Elevation



Side Elevation

CONWY HOUSE TYPE
 4 bedroom detached dwelling
 GIA = 102sqm / 1095sqft



Rev No.	Date	Rev.	By.	Chk.

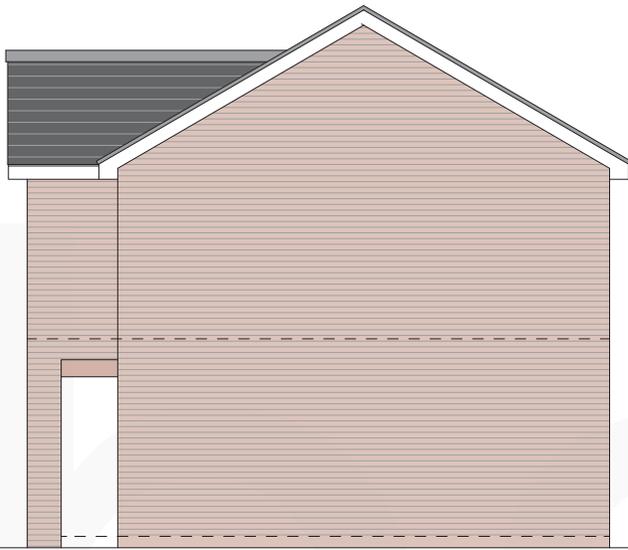
PLANNING

Scale	Date	Drawn by	Chk.
1:50@A2	Jul 2019	JS	AO



Project Title. Plas Aney, Mold		
Client. Gower Homes Ltd.		
Drawing Title. Conwy No Garage Elevations		
Project No. BA2090	Drawing No. PL-044	Revision. -

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Side Elevation



Front Elevation

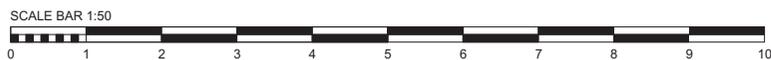


Rear Elevation



Side Elevation

CONWY HOUSE TYPE
 4 bedroom detached dwelling
 GIA = 102sqm / 1095sqft



Slate tile - subject to LA Approval

Brick detail to window head

Facebrick - subject to LA Approval

Rev No.	Date.	Rev.	By.	Chk.
A	23.03.20	Rear door added to garage.	BGE	JW

PLANNING

Scale.	Date.	Drawn by.	Chk.
1:50@A2	Jul 2019	JS	AO



Project Title. Plas Aney, Mold		
Client. Gower Homes Ltd.		
Drawing Title. Conwy Proposed Elevations		
Project No. BA2090	Drawing No. PL-015	Revision. A



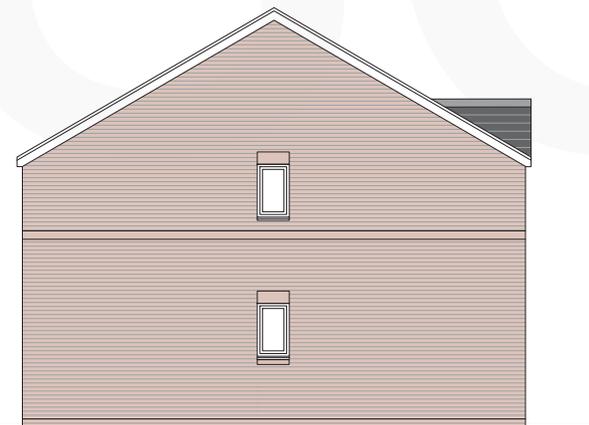
Front Elevation



Side Elevation



Rear Elevation



Side Elevation



Rev No.	Date	Rev.	By	Chk.
A	23.03.20	Windows added to side elevation to match floor plans.	BGE	JW

PLANNING

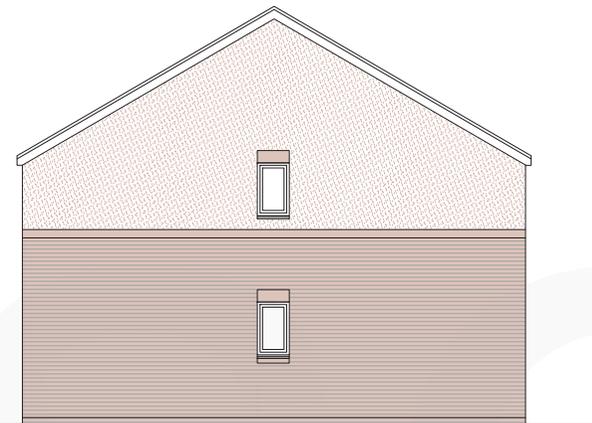
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Project Title	Plas Aney, Mold		
Client	Gower Homes Ltd.		
Drawing Title	Cricciech Proposed Elevations		
Project No.	BA2090	Drawing No.	PL-038
		Revision	A



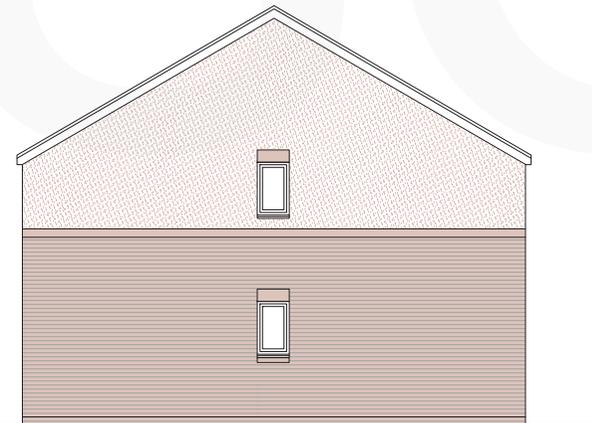
Front Elevation



Side Elevation



Rear Elevation



Side Elevation



Rev No.	Date	Rev.	By.	Chk.
A	23.03.20	Windows added to side elevation to match floor plans	BGE	JW

PLANNING

Scale	1:50@A1	Date	Jan 2020	Drawn by.	JW	Chk.	BE
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Project Title	Plas Aney, Mold		
Client	Gower Homes Ltd.		
Drawing Title	Ewloe+ Proposed Elevations		
Project No.	BA2090	Drawing No.	PL-036
		Revision.	A



Front Elevation

Side Elevation



Rear Elevation

Side Elevation



Rev No.	Date	Rev.	By	Chk.
A	23.03.20	Windows added to side elevation to match floor plans	BGE	JW

PLANNING

Scale	1:50@A1	Date	AUG 2019	Drawn by	JW	Chk.	BE
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Project Title	Plas Aney, Mold		
Client	Gower Homes Ltd.		
Drawing Title	Ewloe Proposed Elevations		
Project No.	BA2090	Drawing No.	PL-031
		Revision	A



Front Elevation



Side Elevation



Rear Elevation



Side Elevation

HARLECH HOUSE TYPE
 4 bedroom detached dwelling
 GIA = 124sqm / 1335sqft

Rev No.	Date	Rev.	By.	Chk.

PLANNING

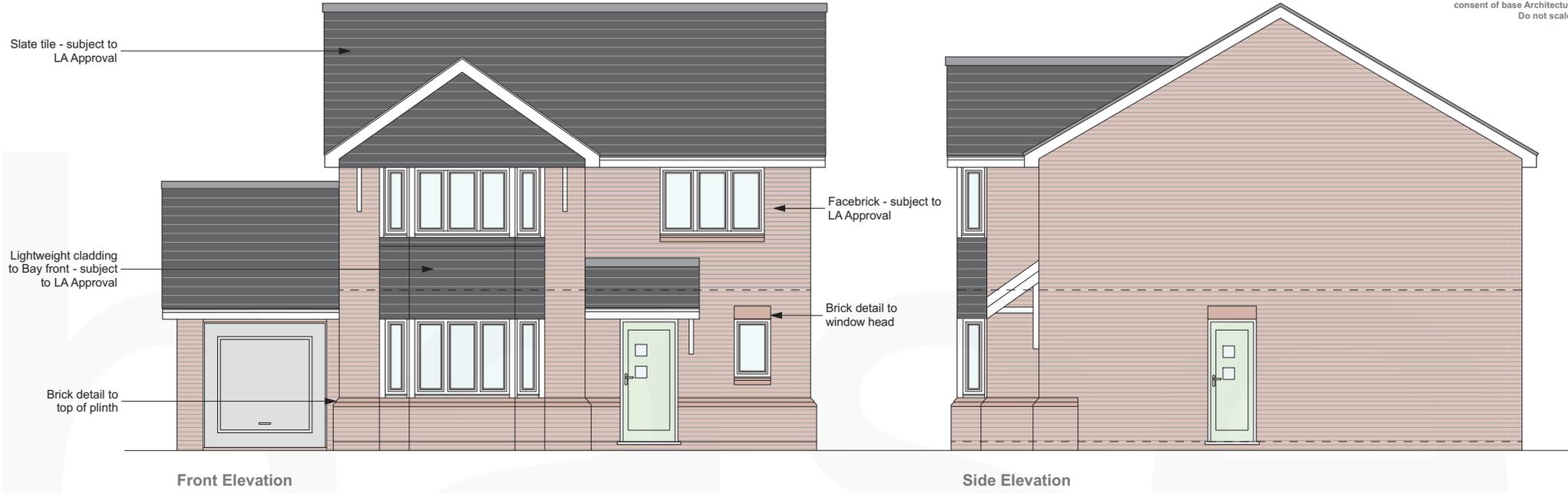
Scale	Date	Drawn by	Chk.
1:50@A2	Jul 2019	JS	AO



Project Title: Plas Aney, Mold		
Client: Gower Homes Ltd.		
Drawing Title: Harlech No Garage Elevations		
Project No. BA2090	Drawing No. PL-048	Revision. -

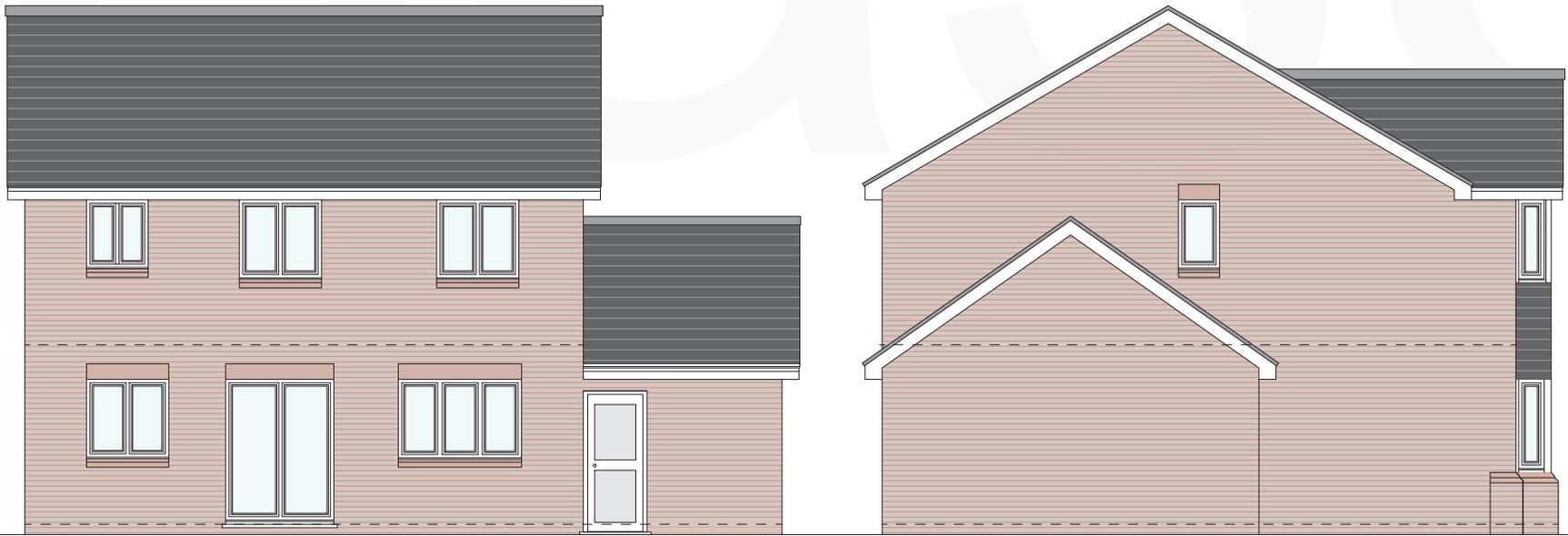
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Front Elevation

Side Elevation



Rear Elevation

Side Elevation

HARLECH HOUSE TYPE
 4 bedroom detached dwelling
 GIA = 124sqm / 1335sqft

A	23.03.20	Bay window added to side elevations. Rear garage door added.	BGE	JW
Rev No.	Date.	Rev.	By.	Chk.

PLANNING

Scale:	1:50@A2	Date:	Jul 2019	Drawn by:	JS	Chk.	AO
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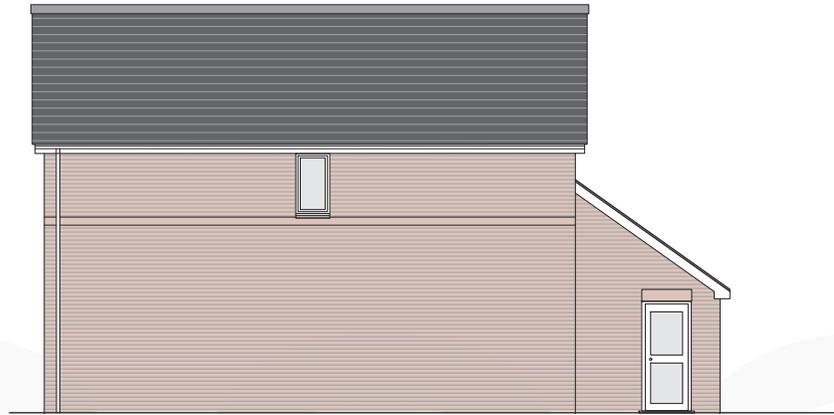
Project Title:	Plas Aney, Mold		
Client:	Gower Homes Ltd.		
Drawing Title:	Harlech Proposed Elevations		
Project No.	BA2090	Drawing No.	PL-019
Revision:	A		

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Front Elevation



Side Elevation



Rear Elevation



Side Elevation

Rev No.	Date	Rev.	By.	Chk.
A	23.03.20	Garage door added	BGE	JW

PLANNING

Scale	Date	Drawn by	Chk.
1:50@A1	Aug 2019	JW	BE



Project Title: Plas Aney, Mold		
Client: Gower Homes Ltd.		
Drawing Title: Hawarden Proposed Elevations		
Project No. BA2090	Drawing No. PL-033	Revision. A

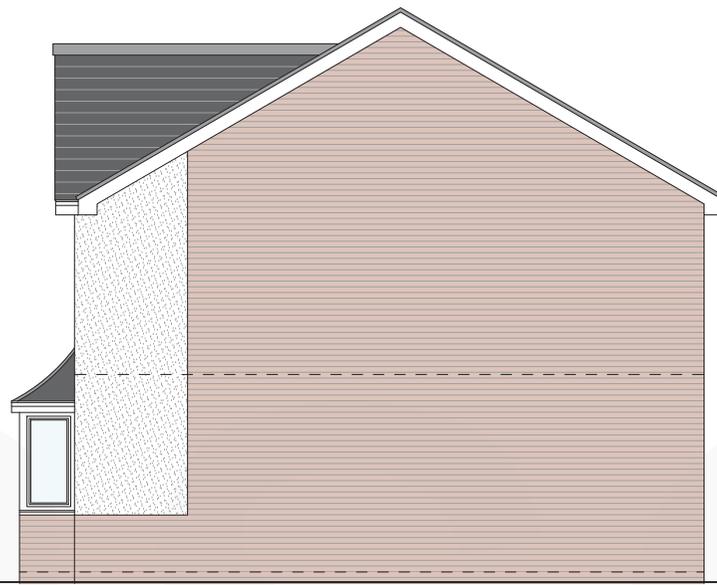
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HAWARDEN HOUSE TYPE
 3 bedroom detached dwelling
 GIA = 84sqm / 904sqft





Front Elevation



Side Elevation



Rear Elevation



Side Elevation

RHUDDLAN HOUSE TYPE
 4 bedroom detached dwelling
 GIA = 113sqm / 1217sqft

Rev No.	Date	Rev.	By.	Chk.

PLANNING

Scale	Date	Drawn by	Chk.
1:50@A2	Jul 2019	JS	AO



Project Title. Plas Aney, Mold		
Client. Gower Homes Ltd.		
Drawing Title. Rhuddlan No Garage Elevations		
Project No. BA2090	Drawing No. PL-046	Revision. -

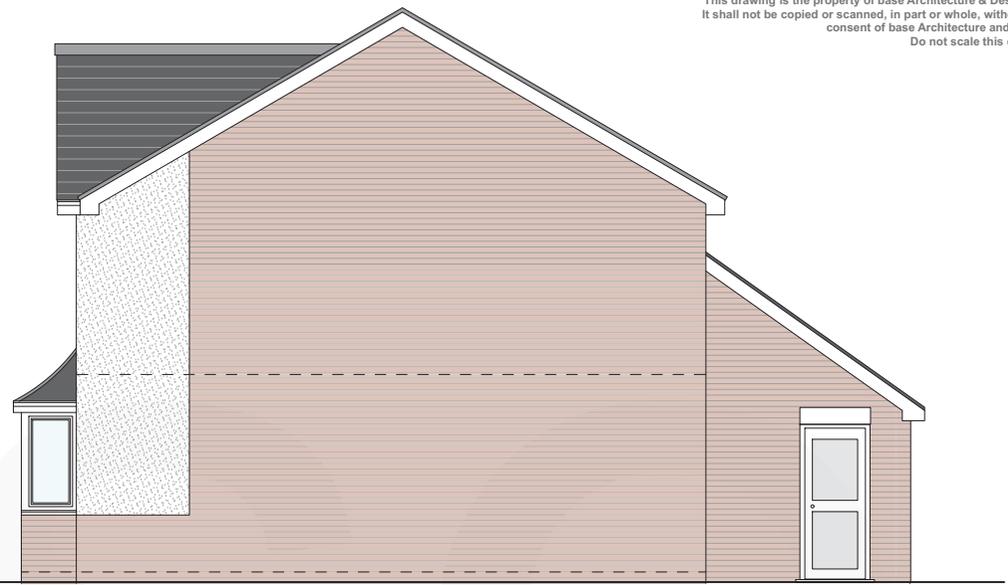
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SCALE BAR 1:50





Front Elevation



Side Elevation



Rear Elevation



Side Elevation

RHUDDLAN HOUSE TYPE
 4 bedroom detached dwelling
 GIA = 113sqm / 1217sqft

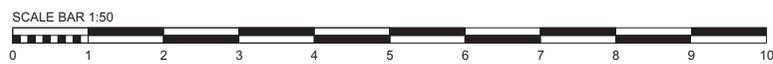
Rev No.	Date	Rev.	By.	Chk.
A	23.03.20	Garage added to elevations	BGE	JW

PLANNING

Scale:	Date:	Drawn by:	Chk.
1:50@A2	Jul 2019	JS	AO



Project Title: Plas Aney, Mold		
Client: Gower Homes Ltd.		
Drawing Title: Rhuddlan Proposed Elevations		
Project No. BA2090	Drawing No. PL-017	Revision. A





ELEVATION 01 - Proposed Street scene from Ruthan Road



Rev No.	Date	Rev.	By.	Chk.
A	29.01.2020	Amended in line with updated masterplan	JS	AO

PLANNING

Scale	1:200@A1	Date	23.07.19	Drawn by.	JS	Chk.	BE
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Project Title	LAND AT MOLD		
Client	GOWER HOMES LTD.		
Drawing Title	INDICATIVE SITE LAYOUT PLAN		
Project No.	BA2090	Drawing No.	PL-034
		Revision.	-

Statement of Support from the Applicant

PA ref. 061154

We fully support the application and urge the planning committee to approve the proposals for the wider benefit of Mold and its residents; we are the delivery partners seeking to deliver change for Flintshire residents in providing affordable homes, social care and learning opportunities. We are excited about how this scheme will address local need and deliver community cohesion, wellbeing and sustainable placemaking.

We appreciate that your Officers have recommended refusal, but we feel the robust exceptional circumstances case justifies approval and provides you with a legitimate reason to take a positive decision.

This is a unique scheme, it would not undermine the UDP or emerging LDP, but deliver on promises made by the housing and social care strategies we have, with you, worked so hard in producing over the years.

The acute shortage of affordable housing must be arrested so the opportunity to over-deliver and exceed the current policy threshold is significant, particularly in a location as strategically important as Mold where there is such demand.

Furthermore, the proposal seeks to deliver six apartments in partnership with First Choice Housing Association and Flintshire CC for individuals with a learning disability.

The pandemic has magnified the sense of social isolation that this most vulnerable section of our community experience. Their families are now starting to require care and this new facility will deliver social and economic benefits.

None of these benefits would be possible without this partnership and without Gower Homes.

We ask Members to approve this application.

Statement from Local Ward Member

Ward:- Mold South

Planning application No. :- 061154

Address of proposed development:- Land opposite Plas Aney, Ruithin Road, Mold

As the County Councillor representing Mold South and on behalf of the residents of Mold South I write this submission to strongly object to the above planning proposals for the following reasons:-

1. Location of the proposed development

This development is proposed on an area which is designated as a Green Barrier. The purpose of this designation is to prevent coalesce of Mold and Gwernymynydd. The status of the Green Barrier has recently been reviewed in the Local Development Plan and considered to be essential to be maintained.

Access onto this area is from Ruithin road with poor sight lines in an area where a previous development on the opposite side of Ruithin road was refused an access point for safety reasons.

2. Other developments in Mold

An extensive survey has been carried out in and around the town of Mold and areas have been identified for the future development in Mold, by the soon to be adopted, Local Development Plan. This area was considered and rejected in this full and extensive process. Adequate development areas have been identified within the boundaries of the town of Mold to provide sufficient houses for the foreseeable future all these proposed development areas are in more suitable locations than these proposals.

3. Flood risk

Existing housing adjacent to this proposed development have been subject to flooding problems. This development, if approved, will exacerbate this problem and could cause more future problems.

4. Surface water discharge

The plans submitted show that the surface water, although slightly attenuated, will be discharged into the existing surface water main in Ruithin Road. This sewer has already failed in the past to contain storm surges with manhole covers in Ruithin road being blown onto the road by the excessive flows in the sewer. These proposals will only add to these problems. This site should fully deal with all surface water on site and not discharge any rainwater off the confines of the proposed site.

5. Existing services in the area

Services which include doctors surgeries, dentists and schools are currently full (some of the local schools do have some vacancies but not sufficient to take all the potential children from this development). It is already difficult to see a doctor in Mold and this development does not provide any help in this already unsatisfactory situation.

I hope the Planning Committee will carefully consider all the points raised above and reject this planning application.

Regards

Mold South

Statement from Town Council

Here are our views as agreed

(a) Ref: KHJ/061154

Proposal: Proposed residential development for 90 no. residential units of accommodation (of which 40% will be affordable and supported living), public open space, landscaping, means of highway and pedestrian access, local highway and pedestrian infrastructure improvements.

Location: Land opposite Plas Aney, Ruthin Road, Mold

Objection

1. The site is outside the Mold settlement boundary in the Flintshire UDP and it has Green Barrier designation.
2. It is not a site allocated for housing in the Mold Town Plan 2017-2030 as Mold Town Council, in consultation with residents over 18 months, wants to avoid further coalescence with Gwernymynydd.
3. The application does not constitute ♦special needs♦ because the emerging Flintshire LDP meets the Welsh Government requirements for affordable housing in the county.
4. With the changes to TAN 1 any lack of five years♦ housing supply should not be given weight, and the emerging Flintshire LDP meets the Welsh Government requirements for housing in the county.
5. This proposal does not accord with either Planning Policy Wales or Flintshire UDP as a sustainable development.
6. Sites have been identified in West Ward, that developers are actively planning, which will deliver over 100 residential units. These are in sites identified for development in the Mold Town Plan and the emerging Flintshire LDP.
7. There is very little green space within the proposed site, or tree planting, or places for people to sit and children to play. There is no community growing area or community orchard. The benefits of these are all well researched and part of the Welsh Government well-being agenda, through the Well Being of Future Generations Act, and included in several FCC policies and the Mold Town Plan.
8. The house types are standard off-the-page designs, as can be seen from their names, there is no attempt to create a bespoke modern ♦Mold♦ style.
9. Surface water:
 - a. on the application water run-off from roofs will not be harvested and recycled in the dwellings, instead each property will be fitted with a water butt, suitable for

garden needs. If these are not emptied regularly or the diverters become blocked, then water just flows into the drain.

- b. The applicant's drainage report shows that the land is not suitable to have soakaways from the dwellings. It proposes a dry retention basin end of the pipe solution with all surface water run offs from highways, roof and private drives to be collected in gravity piped networks and discharged into the surface water public sewerage networks at restricted flow rates agreed with Welsh Water. Yet Welsh Water has already told Gower that no surface water from highways or land drainage run off will be permitted to discharge directly or indirectly into the public sewerage system. FCC now has a SuDS Approving Body.
10. Renewable energy: from the plans it appears that there are no renewable energy measures, such as solar PV, or district heating schemes proposed for the site. Even though at 90 dwellings it falls just outside the national and local authority recommendations, that sites of over 100 dwellings should include such measures, it would still be beneficial to residents to have these cost-cutting energy saving measures in place and to help reduce the CO2 emissions in Mold.
We should be planning for the future and using all available technology to build sustainably.
 11. With a 1 in 7 gradient across the site, sloping to the south east, it is disingenuous to only provide a street view of a single row of proposed dwellings which are next to the Ruthin Road. Dwellings on the site will have a visual impact on all sides, especially on entering and leaving Mold on the Ruthin Road, and for residents on the Lon Cae Del estate and spur roads off.
 12. Sustainable travel:
 - a. The application states that there is a good cycle-friendly infrastructure in the area. This is a false statement. There are roads for cars and virtually no off road or designated cycle lanes in Mold. Using S106 and adding such down the Ruthin Road with safe links to the Alun campus, primary schools and into the town centre would be necessary.
 - b. Only one potential pedestrian link in the top right of the development between proposed dwellings 24 and 25 to between 59 and 38 Lon Cae Del. This is inadequate for a new estate of this size on the very outskirts of Mold, especially as the people living in the affordable housing may have limited access to private transport.
 - c. The nearest bus stop on Ruthin Road is just by the gas/electric substation by where the grass verge on Ruthin Road begins on the left hand side of the road before St Mary's junction. The developer states that this is 350m from the proposed site, which may be the case from the entrance to the site, but is certainly not the case to walk from dwellings at the top end of the site. There is an old bus stop sign buried in the hedge just opposite the Upper Bryn Coch lane junction, just up from where the new entrance junction to the proposed development is planned. The bus stops would need to be improved and moved closer to service any proposed development.

Statement from Local Resident

Rydym ni wedi symud i dy ar Ffordd Rhuthun ym mis Mawrth i fod yn agosach at ysgol y plant, Ysgol Glanrafon. Rydym ni'n cerdded i'r ysgol ar hyd Ffordd Rhuthun ac yna croesi'r ffordd fawr i fynd lawr Lon Bryn Coch. Dwi'n credu bydd y datblygiad hwn yn ychwanegu at y traffic (cerddwyr a cheir) ar hyd Ffordd Rhuthun a Lon Bryn Coch. Mae'r cyfyngiadau cyflymder ar y ffyrdd hyn (30mph) yn beryglus yn fy marn i fel mae hi, a byddai mwy o draffig yn gwneud y sefyllfa yn beryglus tu hwnt ar Lon Bryn Coch yn enwedig. Mae ymbellhau cymdeithasol wedi gwneud y sefyllfa yn waeth fyth, gyda theuluoedd yn cerdded ar y ffordd i osgoi teuluoedd eraill. Yn ogystal, does dim "person lolipop" i dywys y plant ar draws Ffordd Rhuthun bellach oherwydd Coronafeirws. Yn fy marn i byddai angen cyfyngiadau cyflymder 20mph ar Ffordd Rhuthun a Lon Bryn Coch i fynd ymlaen â'r cynnig hwn yn ddiogel.

Yn ogystal, rydym ni wedi dioddef problemau ers symud gyda dwr wyneb ar Ffordd Rhuthun (llyfogydd fflach). Pan soniais i'r Cyngor am hyn, dywedodd y Cyngor nad oedd y system dwr gwastraff yn gallu ymdopi ar brydiau. Byddai codi 90 o dai yn y lleoliad arfaethedig yn cynyddu'r risg o lifogydd wrth safle ein ty ni ac ymhellach i lawr Ffordd Rhuthun. Gyda newid hinsawdd yn debygol yn y dyfodol, yn fy marn i byddai cymeradwyo'r cynllun yn anghyfrifol heb welliannau mawr i'r system dwr gwastraff yn gyntaf

We have moved to a house on Ruthin Road in March to be closer to the children's school, Ysgol Glanrafon. We walk to school along Ruthin Road and then cross the main road to go down Lon Bryn Coch. I believe this development will add to the traffic (pedestrians and cars) along Ruthin Road and Lon Bryn Coch. The speed limits on these roads (30mph) are dangerous in my view as it is, and increased traffic would make the situation extremely dangerous on Lon Bryn Coch in particular. Social distancing has made the situation even worse, with families walking on the road to avoid other families. In addition, there is no "lollipop person" to guide the children across Ruthin Road now because of Coronavirus. In my view 20mph speed limits would be required on Ruthin Road and Lon Bryn Coch to proceed safely with this proposal.

In addition, we have suffered problems since moving with surface water on Ruthin Road (flash floods). When I mentioned this to the Council, the Council said that the waste water system was sometimes unable to cope. The erection of 90 dwellings at the proposed location would increase the risk of flooding by the site of our house and further down Ruthin Road. With climate change likely in the future, in my view approval of the scheme would be irresponsible without major improvements to the waste water system first.

Statement from local resident

The development in Mold will deliver a range of homes to suit local needs, including 26 affordable properties. There is a great demand for housing in the area of Mold especially affordable housing which at this time the pandemic has proved to be more important than ever. It is our duty to ease this demand the development would help fill a large gap.

But in a setting with other homes well designed and to suit all, situated close to the town which will bring income to the town centre without the need for cars to be used.

There is a demand for housing that supports vulnerable people

Gower Homes has agreed to provide six Flats in one building to Cornerstone Flintshire in partnership with a housing association and a care provider for exclusive use of the charity.

Cornerstone Flintshire is a community supporting people with and without learning disability.

We have six adults with learning disability who have expressed a wish to live together and support each other.

They work and socialise in Mold area and need the continuity. Their social life is important to their wellbeing. The Gower plans encompass their needs including access to the town and each other along with their friends.

During this Pandemic many adults with learning disability have been isolated in flats on their own with little or no support.

This would not be the case in the Gower home of six flats where support would be provided for all six adults.