

Planning, Environment & Economy,
 Flintshire County Council, County Hall,
 Mold, Flintshire, CH7 6NF.

Chief Officer: Mr Andrew Farrow

Legend



Planning Application Site



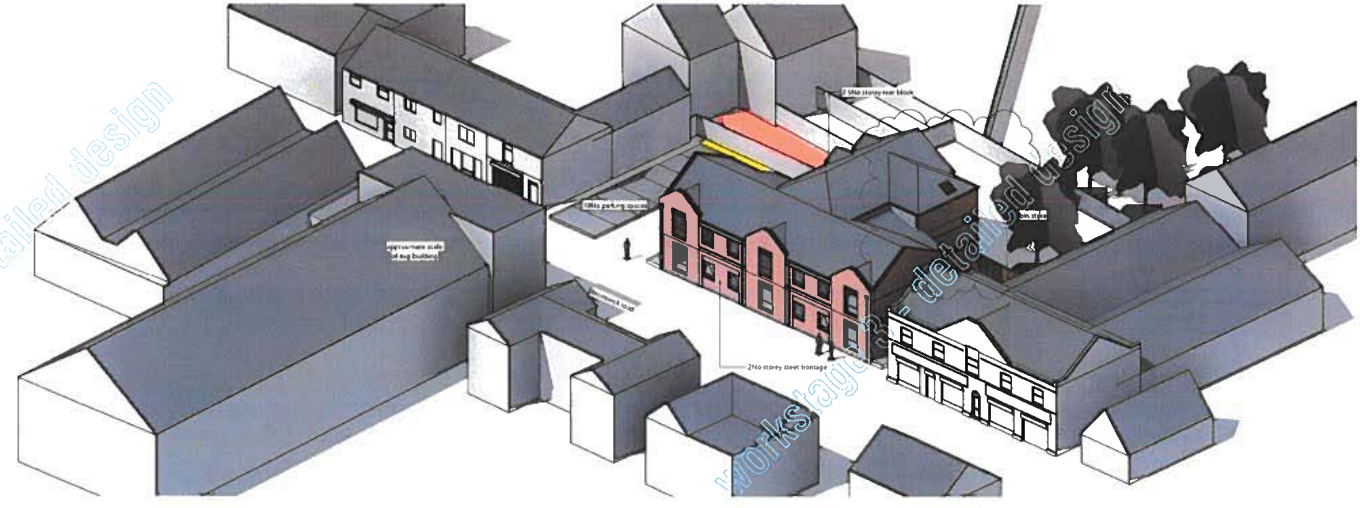
Adopted Flintshire Unitary
 Development Plan
 Settlement Boundary

This plan is based on Ordnance Survey Material with the permission of the Controller of Her Majesty's Stationery Office. © Crown Copyright. Unauthorised reproduction infringes Crown Copyright and may lead to prosecution or civil proceedings. Licence number: 100023386. Flintshire County Council, 2020.

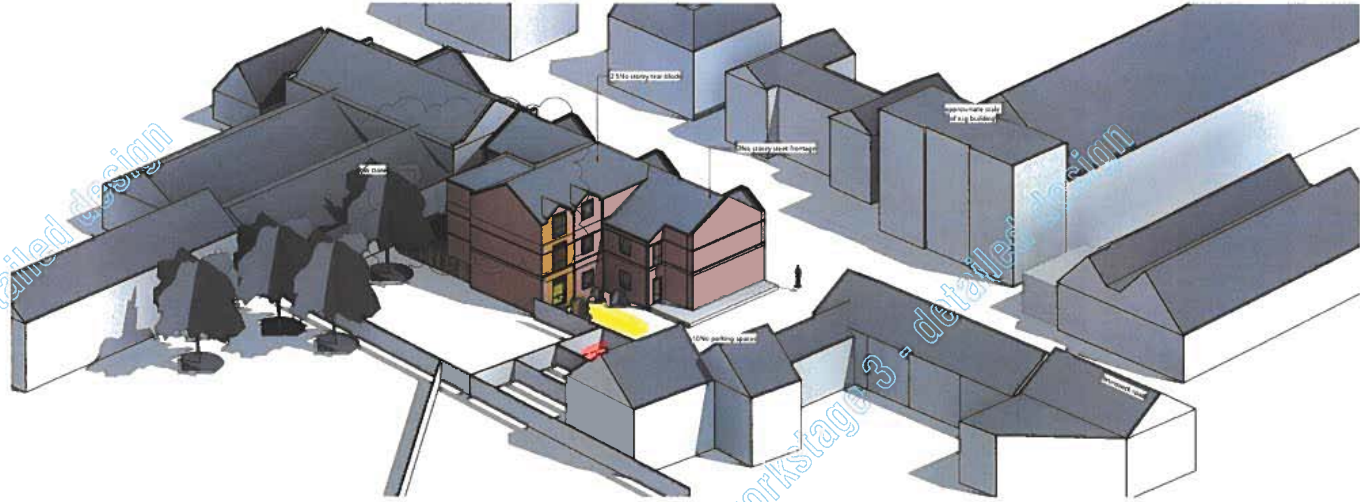
Map Scale 1:1250

OS Map ref SJ 2863

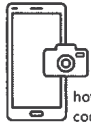
Planning Application **60614**



PRELIMINARY SOUTH EAST VIEW



PRELIMINARY NORTH WEST VIEW



hover a mobile camera over a qr code to download a 3d panorama

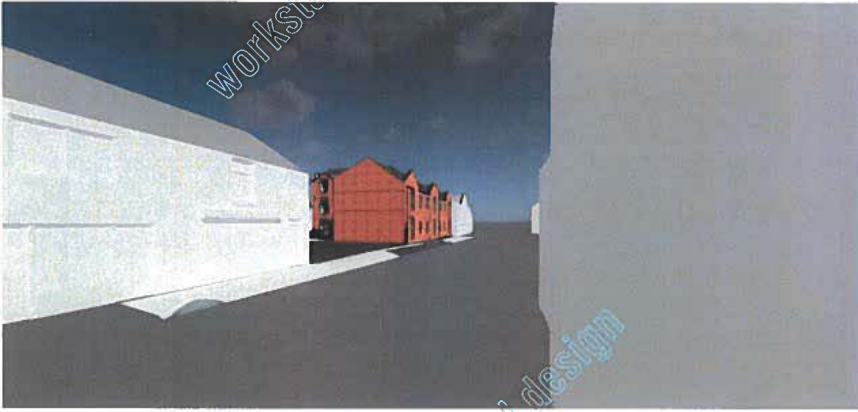
Revision	Description	Date of Revision	Issued by
I	interim revised following consultation with allwedd	2020.03.09	AJR
H	final revised at gateway for future implementation	2020.07.06	AJR
G	sketch developed during general of measure level	2020.06.22	AJR
F	will not issue as code added for street panorama	2020.06.04	AJR
E	context buildings added for scale and message clarity	2020.06.04	AJR
D	improvements to layout and elevations	2019.11.24	JRW
C	issued for comment	2019.10.17	JRW
B	level 02 apartment changed	2018.06.20	AJR
A	preliminary schematic	2018.12.18	AJR



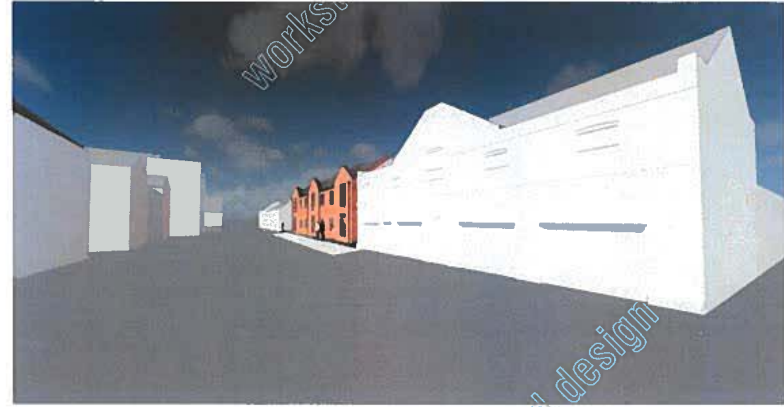
west view of the site



east view of the site



view from far west



view from far east



view from adjacent garden

workstage 3 - detailed design

workstage 3 - detailed design

Revision	Description	Date of Revision	Issued by
B	Revised with sanction of retail from adjacent garden	2020.12.18	JRW
A	Issued to client	2020.12.02	JRW

Project: LAND ADJACENT TO 61 BRUNSWICK ROAD, BUCKLEY

CREU_Drawing list_000								
Sheet Number	Sheet Name	Sheet Size	Scale	Issued	First issue	Current Revision	Current Revision Date	Current Revision Description
000	DRAWING ISSUE SHEET	A1	N/A	Yes	2018.12.18	I	2020.12.21	revised view
001	LOCATION PLAN	A1	1:500	Yes	2018.12.18	B	2020.06.04	w&wh issue. qr code added for street panorama
002	EXISTING SITE PLAN	A1	1:100	Yes	2019.10.17	B	2020.06.04	w&wh issue. qr code added for street panorama
008	PROPOSED SITE PLAN 1 OF 2	A1	1:100	Yes	2018.12.18	I	2020.10.01	distance between parking bays increased and 1No parking bay designated for turning only
009	PROPOSED SITE PLAN 2 OF 2	A1	1:100	Yes	2018.12.18	H	2020.07.17	stairwell revised following consultation with allwedd
010	PROPOSED ELEVATIONS	A1	1:100	Yes	2019.10.17	H	2020.07.17	stairwell revised following consultation with allwedd
016	SERVICES PLAN	A1	N/A	Yes	2019.10.17	B	2020.06.04	w&wh issue. qr code added for street panorama
017	HAZARD/RISK PLAN	A1	1:100		2020.06.04	A	2020.06.04	w&wh issue. qr code added for street panorama

CREU_Drawing list_100								
Sheet Number	Sheet Name	Sheet Size	Scale	Issued	First issue	Current Revision	Current Revision Date	Current Revision Description
100	SERIES 100 ISSUE SHEET				2020.07.14	A	2020.07.14	issued to W&WH and allwedd
106	PLAN LEVEL 00				2020.07.14	B	2020.07.17	stairwell revised following consultation with allwedd
107	PLAN LEVEL 01				2020.07.14	B	2020.07.17	stairwell revised following consultation with allwedd
108	PLAN LEVEL 02				2020.07.14	B	2020.07.17	stairwell revised following consultation with allwedd

CREU_Drawing list_900								
Sheet Number	Sheet Name	Sheet Size	Scale	Issued	First issue	Current Revision	Current Revision Date	Current Revision Description
901	SWOT ANALYSIS				2020.06.05	E	2020.06.22	refined to W&WH requirements
902	COMMUNITY AND INFRASTRUCTURE DIAGRAM				2020.06.04	A	2020.06.04	w&wh issue. qr code added for street panorama
910	ROOF AXONOMETRIC 1	A1	N/A	Yes	2018.12.18	I	2020.07.17	stairwell revised following consultation with allwedd
911	EXTERNAL PERSPECTIVES				2020.12.02	C	2020.12.21	revised view

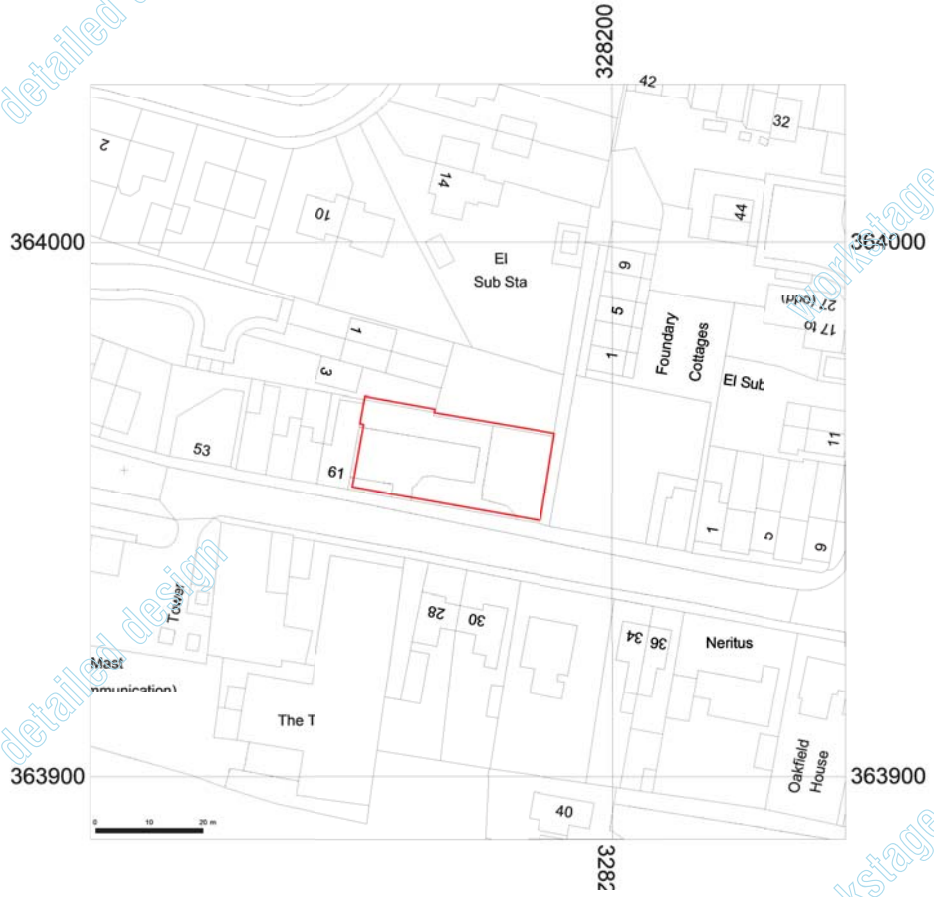
Revision	Description	Date of Revision	Issued by
I	revised view	2020.12.21	JRW
H	revised with addition of visual from adjacent garden	2020.12.18	JRW
G	issued to w&wh	2020.12.02	JRW
F	stairwell revised following consultation with allwedd	2020.07.17	AJR
E	reference plan added	2020.06.10	AJR
D	amendments to layout and elevations	2019.10.24	JRW
C	issued for comment	2019.10.17	JRW
B	level 02 apartment changed	2019.06.20	AJR
A	preliminary schematic	2018.12.18	AJR

Project No: C415 Drawing No: 000 Date: 2018.12.18 Project: LAND ADJACENT TO 61 BRUNSWICK ROAD, BUCKLEY Sheet name: DRAWING ISSUE SHEET

CREUED

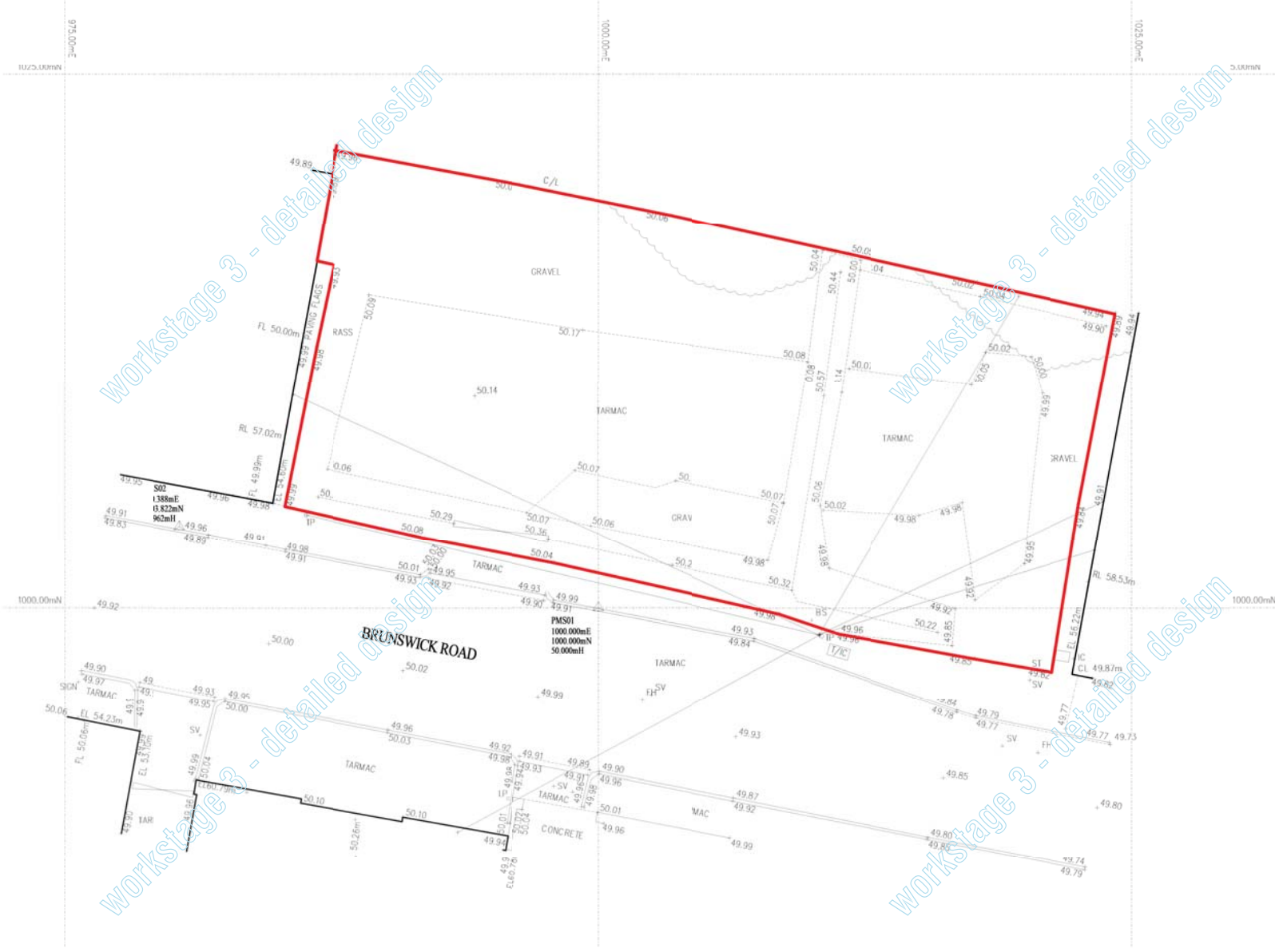


workstage 3 - detailed design



workstage 3 - detailed design

Revision	Description	Date of Revision	Issued by
B	Initial issue, or code added for street panorama	2020.09.04	AJR
A	preliminary schematic	2018.12.18	AJR

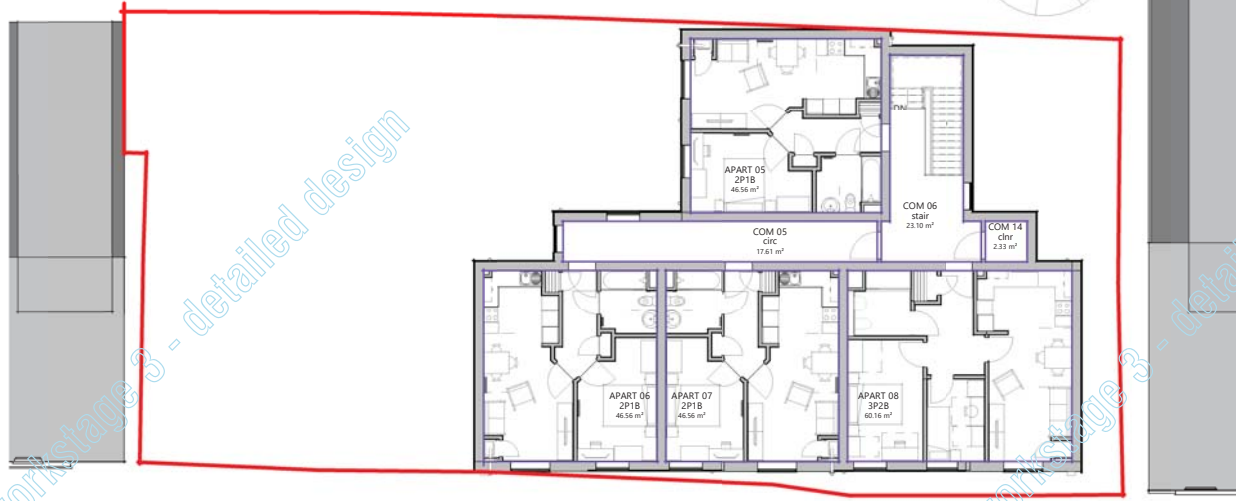


© copyright reserved by creu ltd. this drawing has been produced for this project and is not intended for use by any other person or for any other purpose. check dimension bar top left before scaling. all dims should be checked on file and discrepancies reported.

Revision	Description	Date of Revision	Issued by
B	Issue for comment	2020.06.04	AJR
A	Issue for comment	2019.10.17	JRW



LEVEL 01

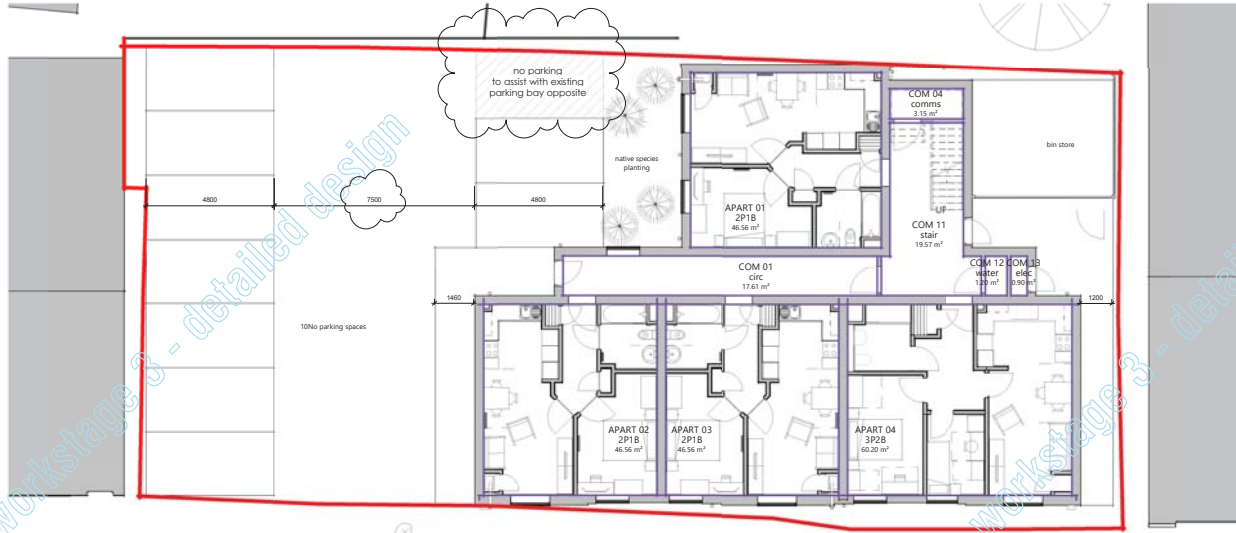


Area Schedule (Rentable)			
Level	Number	Area	Name
LEVEL 00	APART 01	47 m ²	2P1B
LEVEL 00	APART 02	47 m ²	2P1B
LEVEL 00	APART 03	47 m ²	2P1B
LEVEL 00	APART 04	60 m ²	3P2B
LEVEL 00	COM 01	18 m ²	circ
LEVEL 00	COM 04	3 m ²	comms
LEVEL 00	COM 11	20 m ²	stair
LEVEL 00	COM 12	1 m ²	water
LEVEL 00	COM 13	1 m ²	elec

LEVEL 01	APART 05	47 m ²	2P1B
LEVEL 01	APART 06	47 m ²	2P1B
LEVEL 01	APART 07	47 m ²	2P1B
LEVEL 01	APART 08	60 m ²	3P2B
LEVEL 01	COM 05	18 m ²	circ
LEVEL 01	COM 06	23 m ²	stair
LEVEL 01	COM 14	2 m ²	clnr

LEVEL 02	APART 09	47 m ²	2P1B
LEVEL 02	COM 09	11 m ²	STAIR
LEVEL 02	COM 15	5 m ²	spr tank

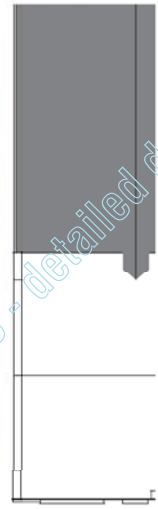
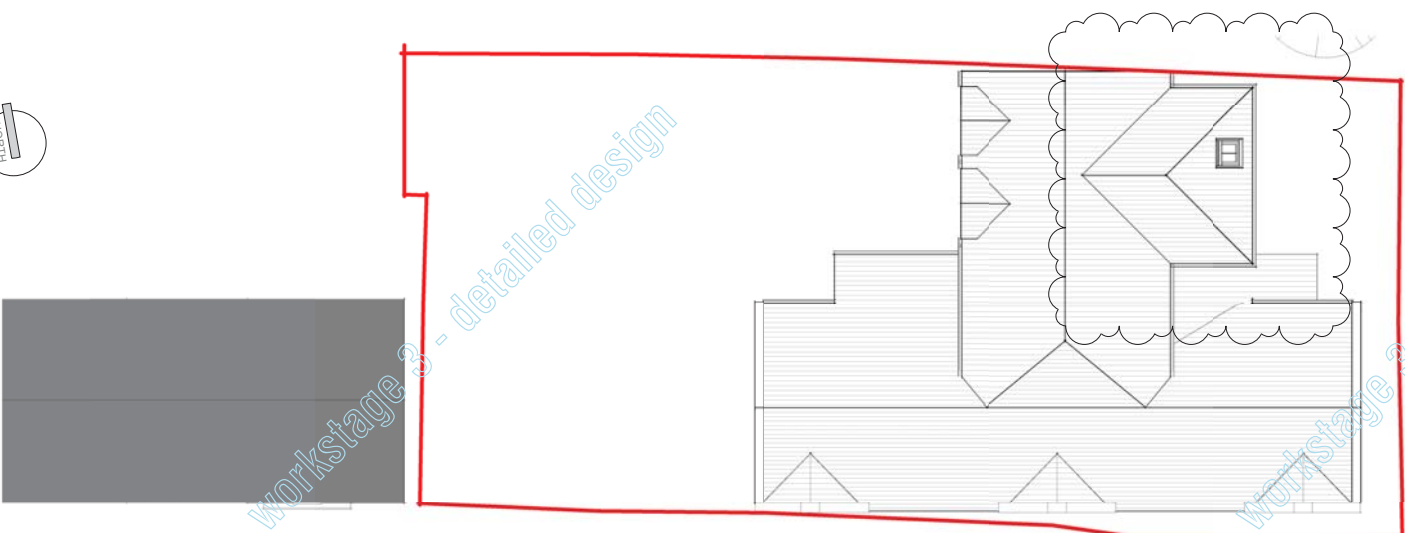
LEVEL 00



Revision	Description	Date of Revision	Issued by
I	distance between parking bays increased and 1No parking bay designated for turning only	2020.10.01	AJR
H	changes revised following consultation with allweld	2020.07.17	AJR
G	issued to W&WH and allweld	2020.07.14	AJR
F	2 bed apartment layout shown	2020.06.07	AJR
E	depth issue, or code added for street panorama	2020.06.04	AJR
D	amendments to layout and elevations	2019.10.24	JRW
C	issued for comment	2019.10.17	JRW
B	level 02 apartment changed	2019.09.29	AJR
A	preliminary schematic	2018.12.18	AJR

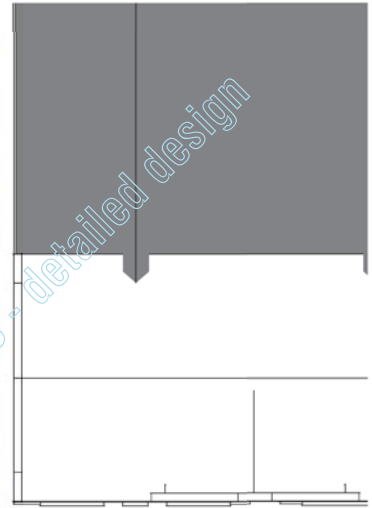
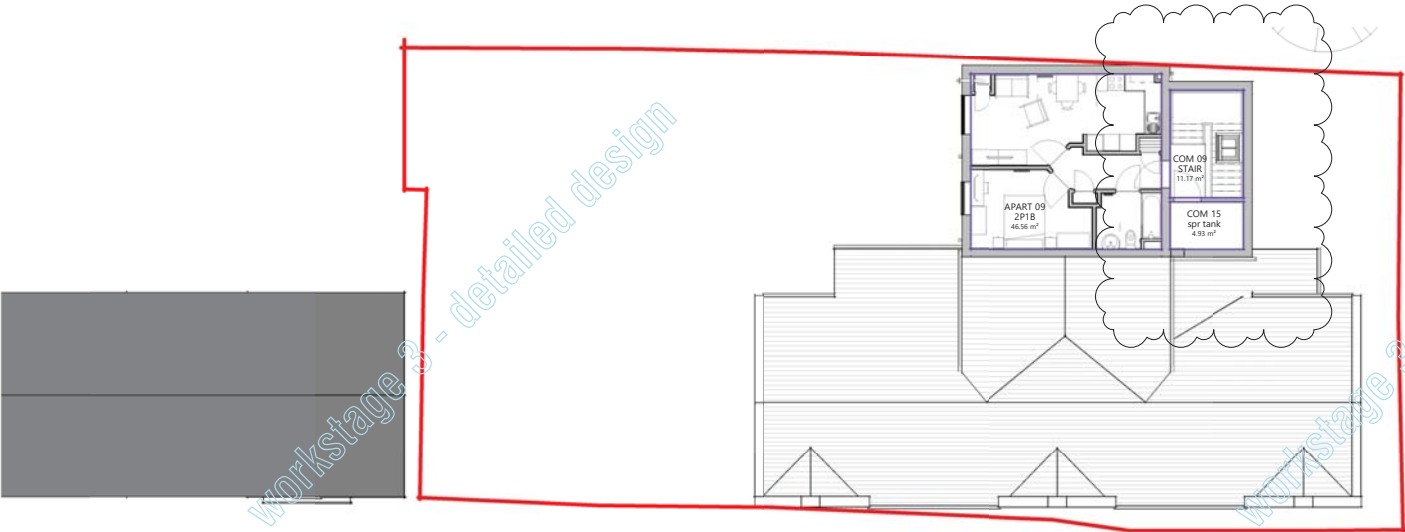


LEVEL ROOF

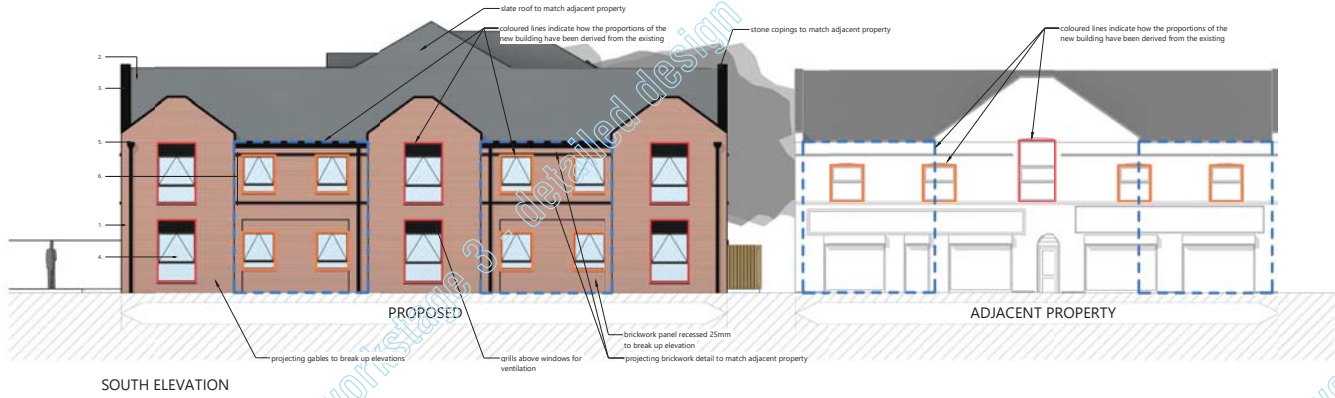


Area Schedule (Rentable)			
Level	Number	Area	Name
LEVEL 00	APART 01	47 m ²	2P1B
LEVEL 00	APART 02	47 m ²	2P1B
LEVEL 00	APART 03	47 m ²	2P1B
LEVEL 00	APART 04	60 m ²	3P2B
LEVEL 00	COM 01	18 m ²	circ
LEVEL 00	COM 04	3 m ²	comms
LEVEL 00	COM 11	20 m ²	stair
LEVEL 00	COM 12	1 m ²	water
LEVEL 00	COM 13	1 m ²	elec
LEVEL 01	APART 05	47 m ²	2P1B
LEVEL 01	APART 06	47 m ²	2P1B
LEVEL 01	APART 07	47 m ²	2P1B
LEVEL 01	APART 08	60 m ²	3P2B
LEVEL 01	COM 05	18 m ²	circ
LEVEL 01	COM 06	23 m ²	stair
LEVEL 01	COM 14	2 m ²	clnr
LEVEL 02	APART 09	47 m ²	2P1B
LEVEL 02	COM 09	11 m ²	STAIR
LEVEL 02	COM 15	5 m ²	spr tank

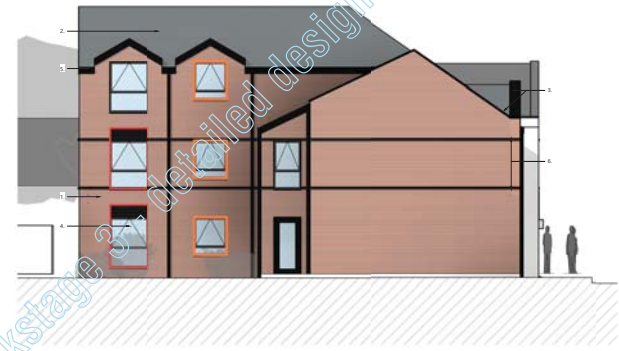
LEVEL 02



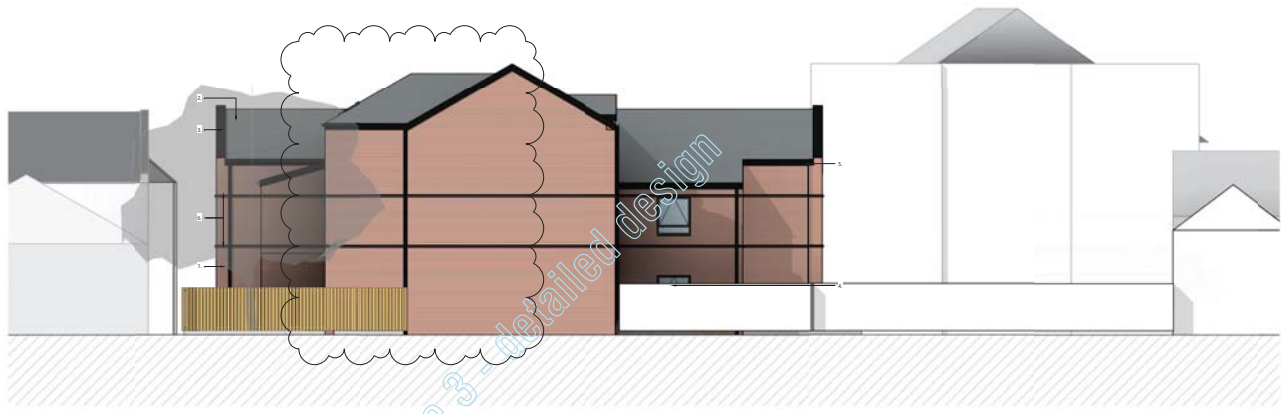
Revision	Description	Date of Revision	Issued by
H	stairwell revised following consultation with allwedd	2020 07 17	AJR
G	issued to W&WH and allwedd	2020 07 14	AJR
F	roof revised at boundary for future maintenance	2020 07 06	AJR
E	redraft issue, or code added for street panorama	2020 06 04	AJR
D	amendments to layout and elevations	2019 10 24	JRW
C	issued for comment	2019 10 17	JRW
B	level 02 apartment changed	2019 09 29	AJR
A	preliminary schematic	2018 12 18	AJR



SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

MATERIAL KEY

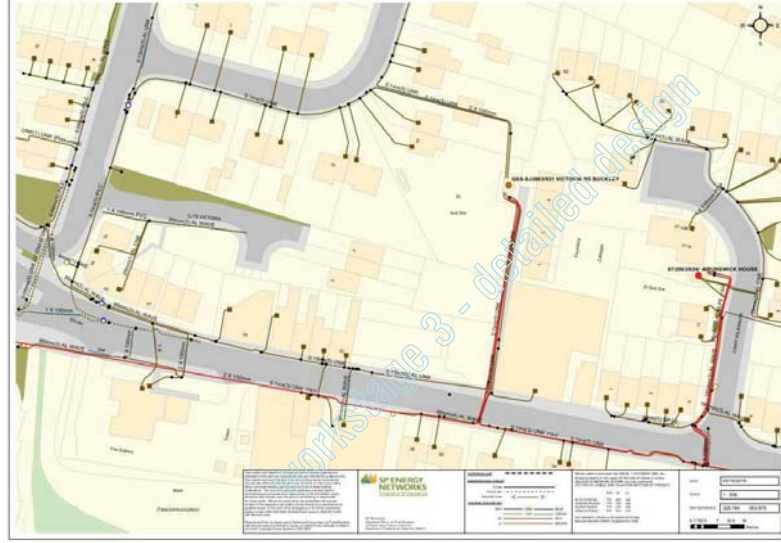
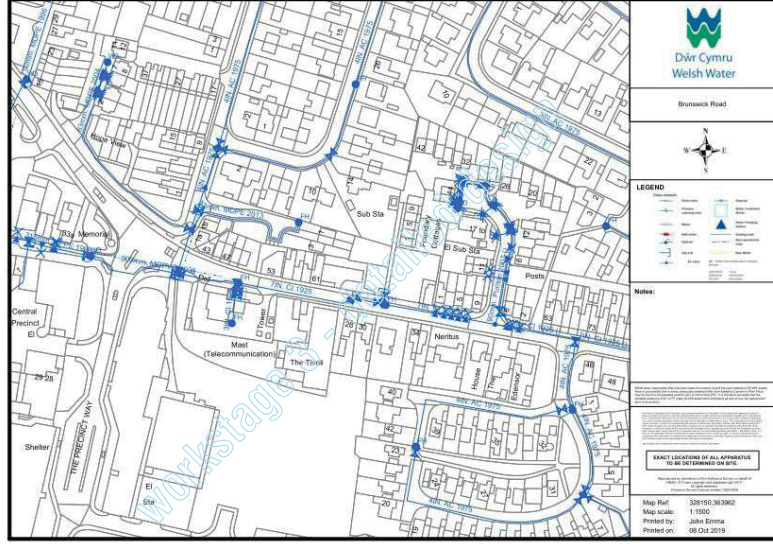
1. brick to match adjacent property.
2. slate to match adjacent property.
3. artstone copings.
4. dark grey upvc windows and doors
5. dark grey upvc fascia, soffit and rainwater goods.
6. cant brick detailing.



workstage 3 - detailed design

workstage 3 - detailed design

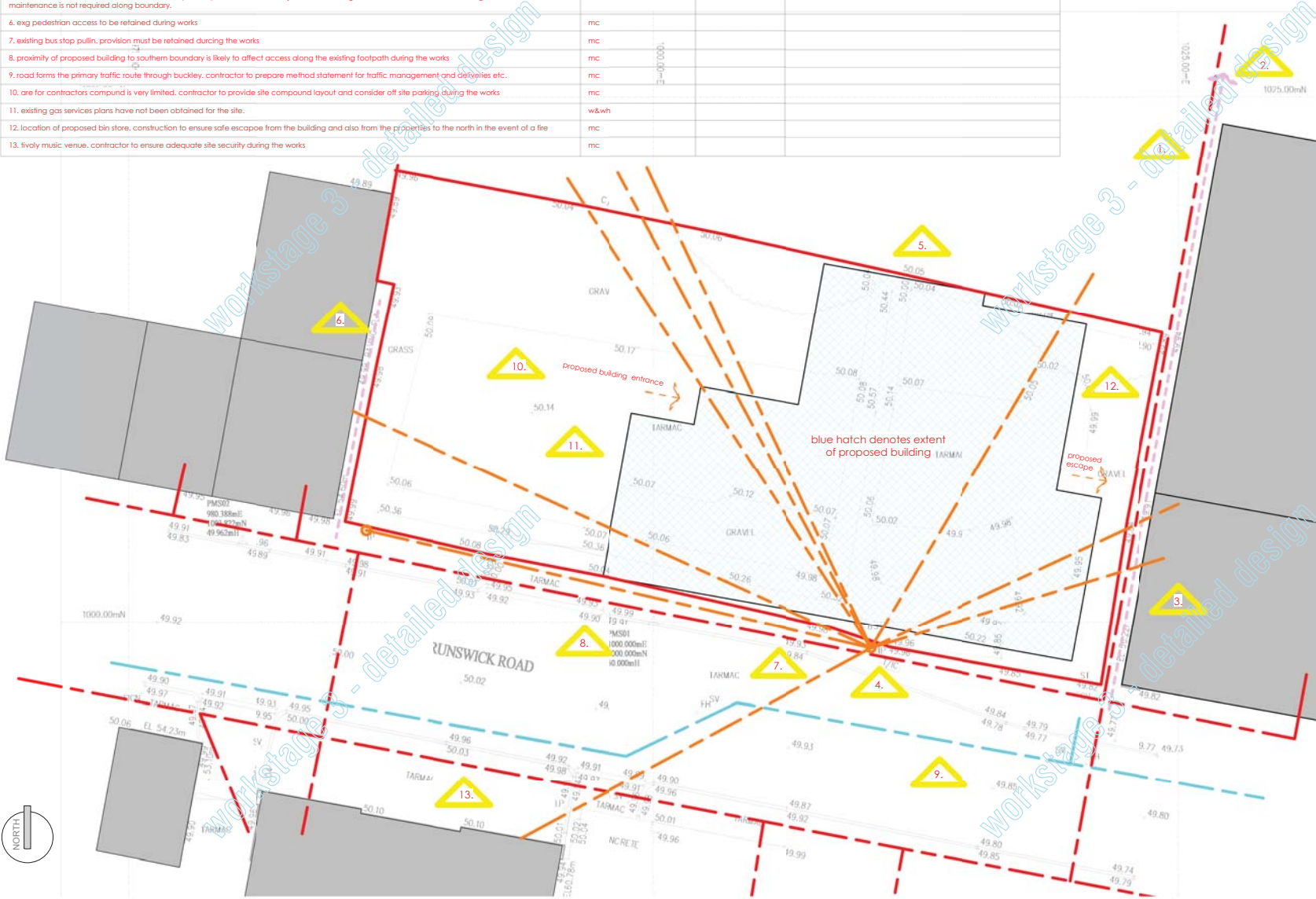
Revision	Description	Date of Revision	Issued by
H	drawings revised following consultation with allwedd	2020.07.17	AJR
G	issued to W&WH and allwedd	2020.07.14	AJR
F	roof revised at boundary for future maintenance	2020.07.06	AJR
E	leah's issue, or code added for street panorama	2020.06.04	AJR
D	annotation added	2020.06.03	AJR
C	context analysis highlighted	2020.05.01	AJR
B	amendments to layout and elevations	2019.10.24	JRW
A	issued for comment	2019.10.17	JRW



workstage 3 - detailed design

Revision	Description	Date of Revision	Issued by
B	Welsh issue, or code added for street panorama	2020.09.04	AJR
A	Issued for comment	2019.10.17	JRW

project risk register	action responsibility	actioned date	comment
1. elec main to sub station to the north	mc		
2. pedestrian access to existing dwelling frontages will need to be retained during the works	mc		
3. possible easment for electric main may affect building line	w&wh		
4. existing telecoms inspection chamber, pole and overhead lines will need to be resolved as enabling works prior to commencement.	w&wh		
5. proximity of proposed building to the boundary will require access to the adjacent land during construction. construction detailing to ensure future maintenance is not required along boundary.	w&wh		
6. exg pedestrian access to be retained during works	mc		
7. existing bus stop pullin, provision must be retained during the works	mc		
8. proximity of proposed building to southern boundary is likely to affect access along the existing footpath during the works	mc		
9. road forms the primary traffic route through buckley, contractor to prepare method statement for traffic management and deliveries etc.	mc		
10. are for contractors compound is very limited. contractor to provide site compound layout and consider off site parking during the works	mc		
11. existing gas services plans have not been obtained for the site.	w&wh		
12. location of proposed bin store. construction to ensure safe escapee from the building and also from the properties to the north in the event of a fire	mc		
13. lively music venue. contractor to ensure adequate site security during the works	mc		

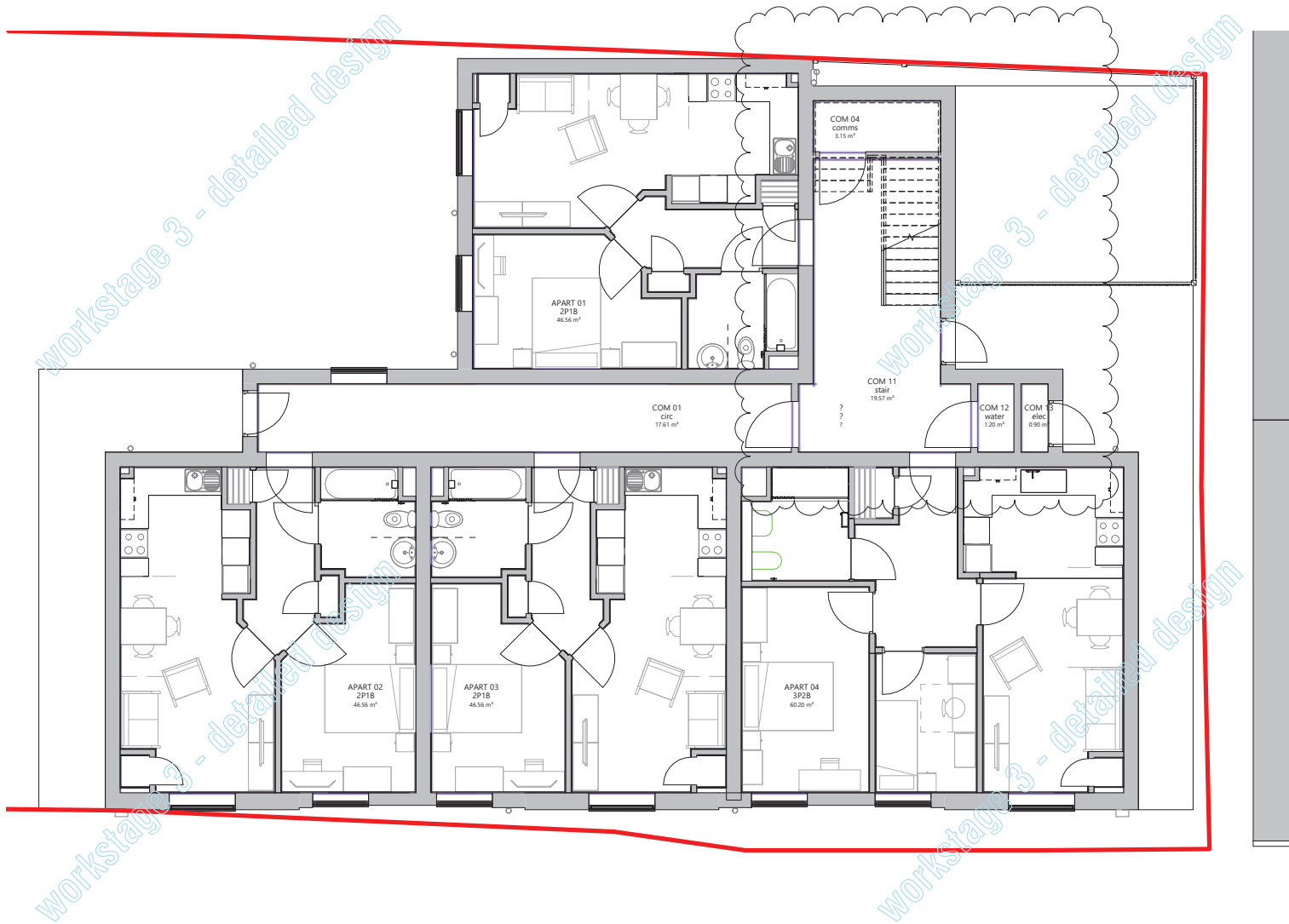


A	addish issue or code added for street panorama	2020.06.04	AJR
Revision	Description	Date of Revision	Issued by

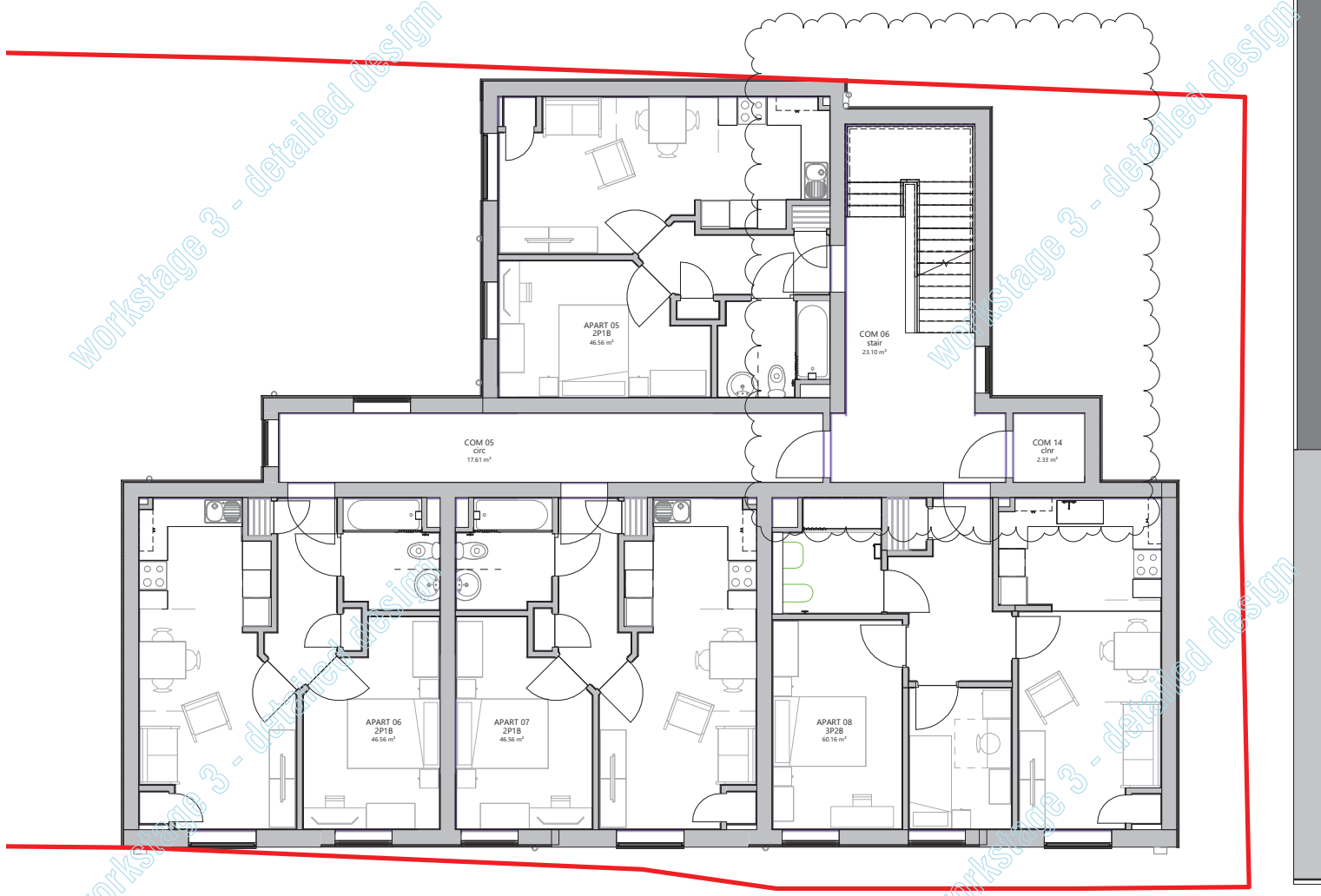
© copyright reserved by creu ltd. this drawing has been produced for this project and is not intended for use by any other person or for any other purpose. check dimension bar top left before scaling. all dims should be checked on site and discrepancies reported.

21/12/2020 12:06:55





Revision	Description	Date of Revision	Issued by
B	stair/well revised following consultation with allwedd	2020.07.17	AJR
A	issued to W&WH and allwedd	2020.07.14	AJR



Revision	Description	Date of Revision	Issued by
B	stairwell revised following consultation with allwedd	2020.07.17	AJR
A	issued to W&WH and allwedd	2020.07.14	AJR

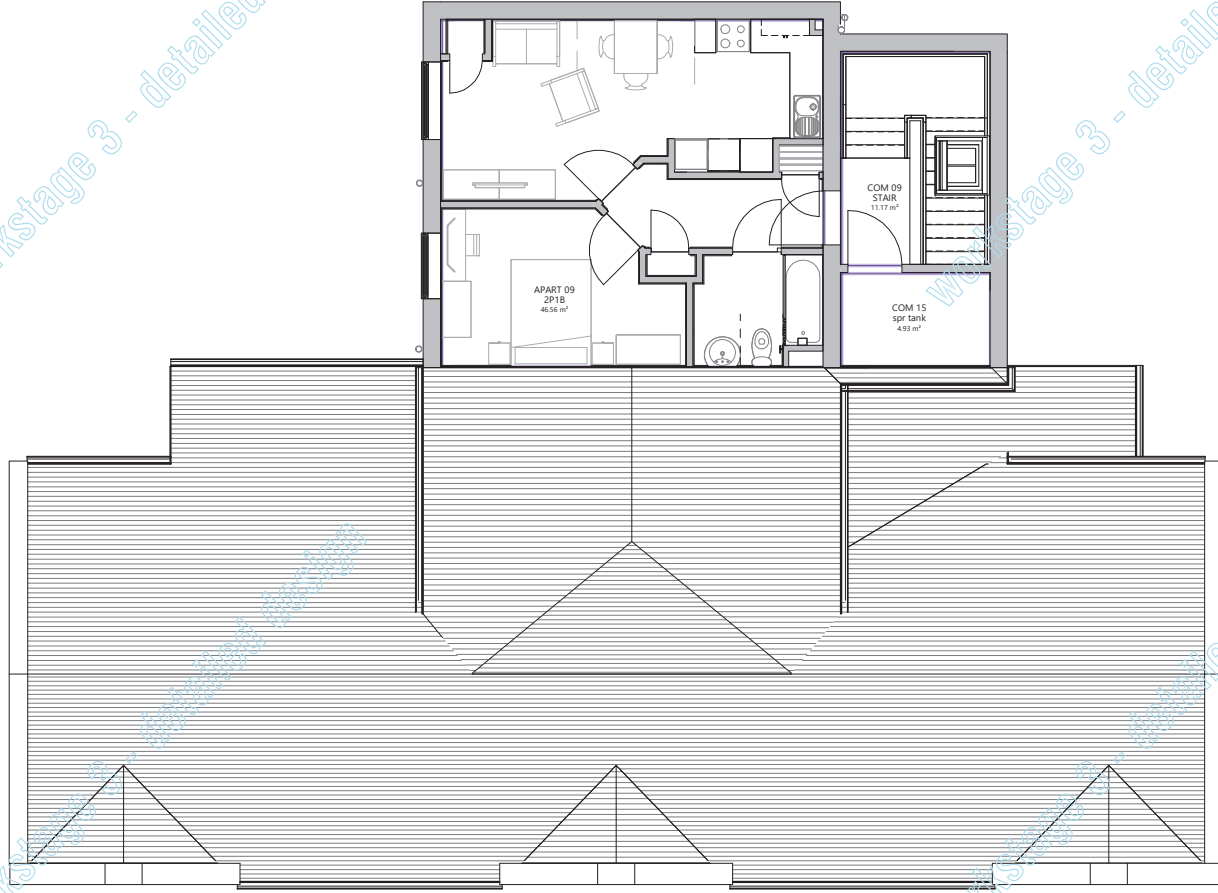


workstage 3 - detailed design

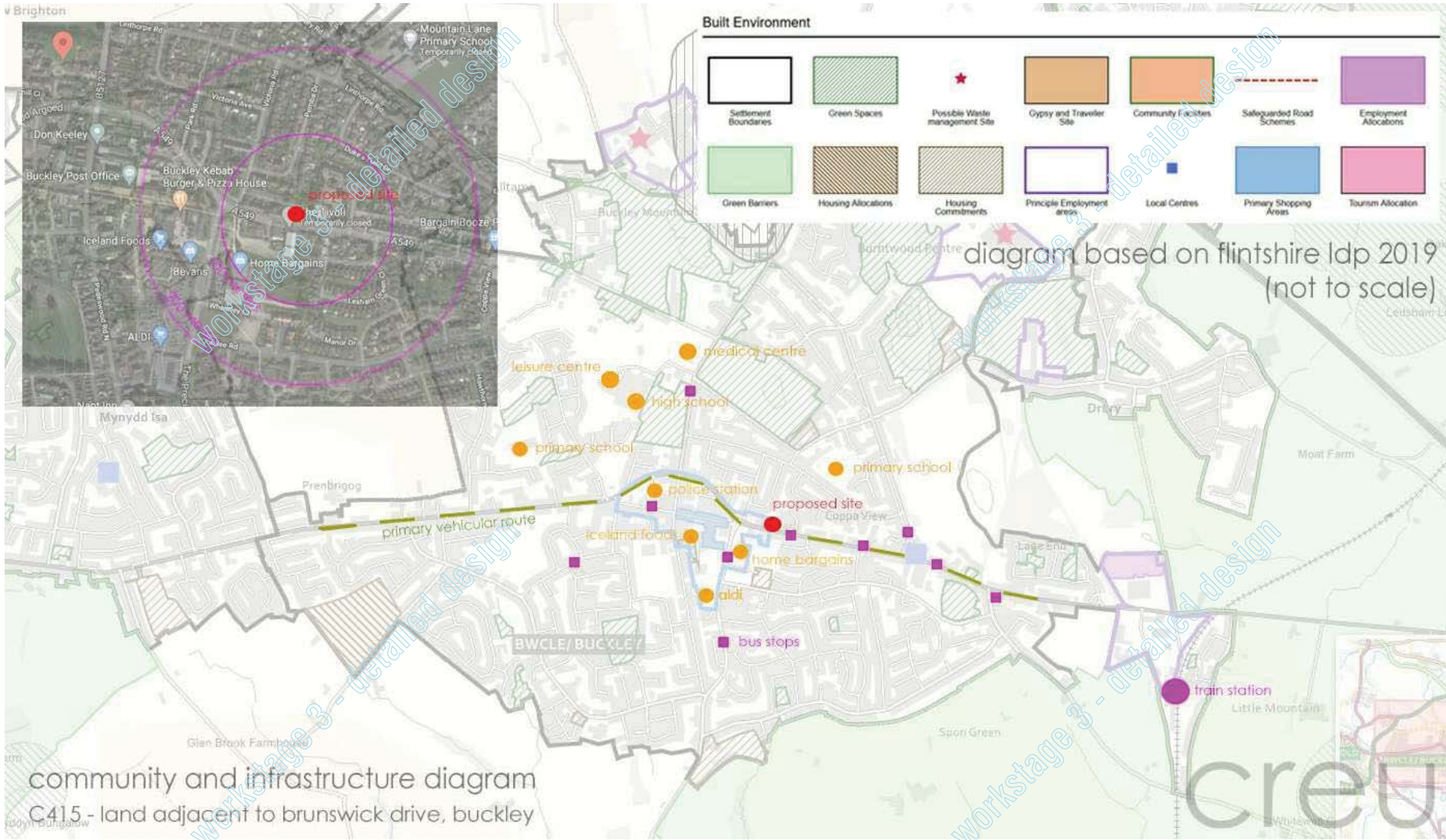
workstage 3 - detailed design

workstage 3 - detailed design

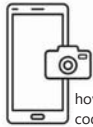
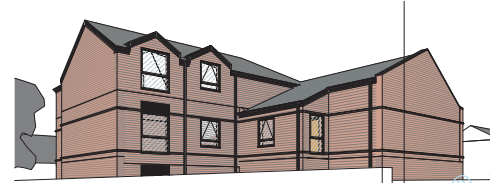
workstage 3 - detailed design



Revision	Description	Date of Revision	Issued by
B	stairwell revised following consultation with allwedd	2020.07.17	AJR
A	issued to W&WH and allwedd	2020.07.14	AJR



Revision	Issue or code added for street panorama	Date of Revision	AJR
A	Issue or code added for street panorama	2020.08.04	AJR
	Description	Date of Revision	Issued by



hover a mobile camera over a qr code to download a 3d panorama



PRELIMINARY SOUTH EAST VIEW



PRELIMINARY NORTH WEST VIEW

workstage 3 - detailed design

workstage 3 - detailed design

Revision	Description	Date of Revision	Issued by
I	startwell revised following consultation with allowed	2020 07 17	AJR
II	land reserved at boundary for future maintenance	2020 07 08	AJR
G	sketch demonstrating potential of adjacent land	2020 06 22	AJR
F	sketch issue of code added for street panorama	2020 06 04	AJR
E	located buildings added for scale and massing study	2020 05 01	AJR
D	amendments to layout and elevations	2019 10 24	JRW
C	issued for comment	2018 10 17	JRW
B	level 02 apartment changed	2018 09 20	AJR
A	preliminary schematic	2018 12 18	AJR



west view of the site



east view of the site



view from far west



view from far east



view from adjacent garden

workstage 3 - detailed design

Revision	Description	Date of Revision	Issued by
C	revised view	2020.12.21	JRW
B	revised with addition of visual from adjacent garden	2020.12.18	JRW
A	issued to w&w	2020.12.02	JRW

Statement from Applicant

Written Statement for Planning Committee

Statement of the applicant

Planning application 055581 "Outline Application for the erection of two and half storey flats and associated parking and amenity space on existing vacant land" was granted in October 2016 and approved the principle of residential development on the site in the form of a block of apartments.

SARTH shows a high demand for this type of accommodation in this location. As of October 2020 there were 302 applicants for a one bed flat and 57 for two bed flats in Buckley. The scheme would provide 9 units (seven 1 Bed 2 Person, two 2 Bed 3 Person) for social rent in a highly sustainable location which would contribute albeit in a small way to meeting this housing need.

WWHA have carefully considered the site and its surroundings to create a high quality form of development within the remit of the outline consent which will complement the historic pattern and style of development on Brunswick Road whilst minimising overlooking to existing residential properties. The proposed scheme is two storeys along the site frontage to reflect the height of the existing buildings on the street with a limited two and a half storey element at the rear. The 3-d modelling of the scheme shows that there would be no significant adverse impacts on residential amenity in terms of overlooking or the visual impact on the streetscene. The scheme provides 10 parking spaces for 9 units which is considered policy compliant in this town centre location.

Kind Regards,

Statement from Buckley Town Council

Buckley Town Council raises the following observations in relation to the above planning application:-

1. With reference to the western elevation of the proposed development, the 2 ½ storey building would be overlooking at least the residential properties at 1, 2, and 3 Victoria Court, Buckley.
2. The overlooking aspect would impact upon the amenity of those three properties and potentially other properties on the western side of the proposed building.

The above information and observations were provided to Flintshire County Council Planning Department on 28th October 2020 via a letter.